



Wood View, Croxdale, DH6 5JB  
2 Bed - House - Terraced  
Offers Over £79,995

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No Upper Chain \*\* Well Presented & Positioned \*\* Recent Upvc Double Glazing & Doors \*\* GCH Via Combination Boiler \*\* Modern Kitchen \*\* Ideal Starter Home or Investment \*\* Good Rental Returns \*\* Outskirts of Durham \*\* Good Road Links \*\*

The floor plan comprises: entrance vestibule, comfortable lounge, modern fitted kitchen diner. The first floor has two bedrooms and bathroom/WC. Outside the property occupies a pleasant position with front outlook over green, whilst the rear has an enclosed courtyard garden.

Croxdale is situated within driving distance of Spennymoor, Bishop Auckland and Durham City where there are a comprehensive range of shopping and recreational facilities and amenities available. It is also well placed for commuting purposes as it lies adjacent to the A(167) Highway which provides good road links to other regional centres.

Council tax band A - Approx £1469pa

Tenure - Freehold

EPC rating - E



## GROUND FLOOR

### Entrance

### Lounge

16'0 x 14'11 (4.88m x 4.55m)

### Kitchen Diner

16'0 x 6'2 (4.88m x 1.88m)

## FIRST FLOOR

### Bedroom

16'0 x 11'11 (4.88m x 3.63m)

### Bedroom

12'10 x 8'10 (3.91m x 2.69m)

### Bathroom/WC

7'0 x 6'2 (2.13m x 1.88m)

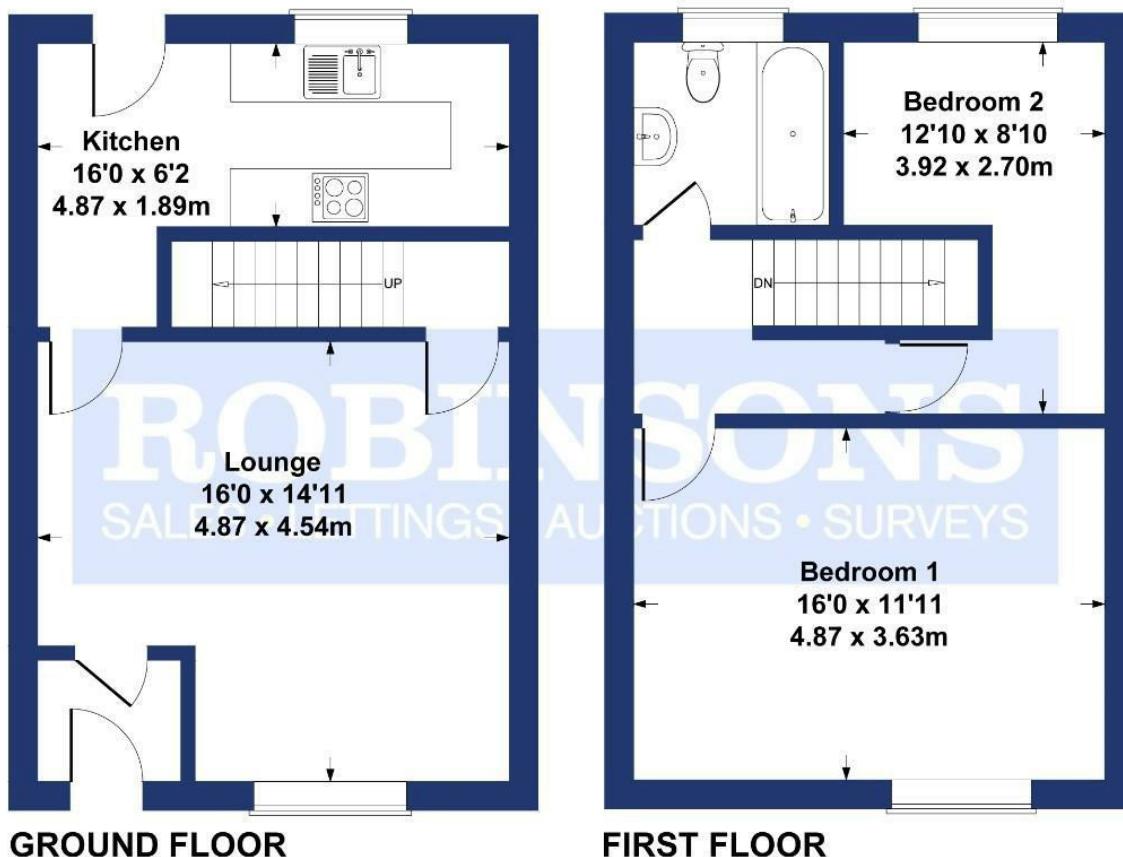




# Wood View

Approximate Gross Internal Area

797 sq ft - 74 sq m



## SKETCH PLAN FOR ILLUSTRATIVE PURPOSES ONLY

All measurements walls, doors, windows, fittings and appliances, their sizes and locations, are approximate only. They cannot be regarded as being a representation by the seller, nor their agent.

Produced by Potterplans Ltd. 2023

Every care has been taken with the preparation of these particulars, but they are for general guidance only and complete accuracy cannot be guaranteed. If there is any point, which is of particular importance please ask or professional verification should be sought. All dimensions are approximate. The mention of fixtures, fittings &/or appliances does not imply they are in full efficient working order. Photographs are provided for general information and it cannot be inferred that any item shown is included in the sale. These particulars do not constitute a contract or part of a contract. Robinsons can recommend financial services, surveying and conveyancing services to sellers and buyers. Robinsons staff may benefit from referral incentives relating to these services.

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs (92 plus) A	87	87
(81-91) B	53	53
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales	EU Directive 2002/91/EC	